

Homewood Board of Zoning Adjustments

Agenda

Thursday, June 1, 2023, 6:00 P.M.

City Council Chamber

2850 19TH Street South, 2nd Floor

Homewood, Alabama 35209

**NOTE: Prior to the scheduled public hearing, a brief work session will be held for Board members beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2nd floor behind the Council Chambers. Members of the public are welcome to attend and observe the work session; however, questions and/or comments from the public will only be considered during the scheduled public hearing.*

Persons who are unable to attend the meeting in-person may view the proceedings through Live Stream on the City of Homewood website (<https://www.cityofhomewood.com/>) or can navigate directly via: <https://www.cityofhomewood.com/live-stream>. **Please note that public comments cannot be made by persons viewing the meeting through Live Stream.**

Persons who wish to comment during the meeting may only do so in person. Comments in support or opposition, may be submitted via email to the Department of Engineering & Zoning by clicking the following link: www.cityofhomewood.com/engineering-zoning or to the Secretary to the Board of Zoning Adjustments at fred.goodwin@homewoodal.org. Comments may also be hand delivered to the Department of Engineering & Zoning, located on the 4th floor of Homewood City Hall. Please include the address or case number and submit them no later than 24-hours prior to the meeting.

Board Members

Chair, Megan Hand, Ward 4

Vice-Chair, Michael Pirkle, Ward 3

Callan Childs, Ward 1

Scott Alsabrook, Ward 2

William Johnson, Ward 5

Supernumeraries

Stuart Roberts

John Geer

Order of Business

- I. **Call to Order**
- II. **Roll Call**
- III. **Minutes Approval– May 4, 2023**
- IV. **Communications/Reports from Chair & Vice Chair**
- V. **Old Business**
- VI. **New Business**

1) SV-23-06-01, 311 St Charles Street, Parcel ID No. 29 00 13 2 009 006.000

Applicant / Property Owners: Cheryl and Richard Mullen

- a) *A request for a variance to Article IV, District Uses, Sec. A. Neighborhood Preservation District, (3) Development Regulations, d. setbacks, 3. Rear, to reduce the setback requirement along the rear property line from 20-feet to 9.71-feet (9-feet, 8.5-inches) for a total reduction of 11-feet to construct a rear addition to an existing house.*

The Agenda of the Board of Zoning Adjustments is subject to change prior to the scheduled meeting. The Board Chair reserves the right to vary the order of the meeting, if warranted. Questions regarding the agenda and meeting may be directed to the Department of Engineering and Zoning at (205) 332-6854.

2) SV-23-06-02, 130 Stratford Circle, Parcel ID No. 28 00 18 1 002 043.000
Applicant: Colt Byrom, Byrom Building Corporation/ Property Owners: Charles Randall Minor and Chinelo Dike-Minor

- a) A request for variance to Article V, District Development Criteria, Sec. d. Accessory Structures to allow an accessory structure, other than a detached garage or carport, to be placed in the side yard to create a paved surface.*
- b) A request for a variance to Article V, District Development Criteria, sec. b., general setback modifications to allow an un-roofed habitable structure which does not extend more than five (5) feet above grade to be placed zero (0) feet from the left side lot line.*

VII. *Communications from Staff*

VIII. *Adjournment*

COMPLETE AND SUBMIT
PRIOR TO THE DEADLINE DATE

City of Homewood
Board of Zoning Adjustments
Request for Variance



VARIANCE



APPEAL

ADDRESS OF PROPERTY:

311 ST CHARLES ~~AVE~~ ^{street} Homewood

SV-23-06-01

BZA CASE # (assigned by city staff):

APPLICANT INFORMATION

Name of Applicant (s):

Cheryl & Richard Mullen

Address of Applicant(s):

101 Cass St

Westville

AL

35242

City

State

Zip

Telephone Number(s) of Applicant(s):

205-275-2692

Email:

rmullen007@gmail.com

Property Interest of Applicant(s):

OWNER

(i.e., owner, contract purchaser, agent, architect, contractor, developer, etc)

OWNER INFORMATION – If different from Applicant

Name of Owner(s):

same

Address of Owner(s) (ONLY if address is different from property address) otherwise put same:

City

State

Zip

Email:

Telephone Number(s) of Owner(s):

DESCRIPTION, USE AND ZONING OF PROPERTY (Parcel ID & present zoning can be filled out at time of application submittal)

PARCEL IDENTIFICATION NUMBER:

2900132009006000

PRESENT USE: ☒ vacant

☐ residence

☐ commercial (describe):

☐ other (describe):

Residence to be renovated

PRESENT ZONING ([City Zoning Map](#)):

NPD ?

**COMPLETE AND SUBMIT
PRIOR TO THE DEADLINE DATE**

**City of Homewood
Board of Zoning Adjustments
Request for Variance**

INDICATE THE FOLLOWING

The following information can be completed when applying but applicant must provide a survey to verify:

	*Required by Zoning Regulations	Setback dimensions as they NOW exist	Setback dimensions AFTER construction	FINAL Setback Variance Requested
Front Bldg. Setback:	25' ?	43.97	43.97	—
Front Bldg. Setback: (secondary - corner lot)	25' ?	43.97	43.97	—
Right Bldg. Setback	5' 9"	6.43	6.43	—
Left Bldg. Setback	5' 9"	2.79/5.7	2.79/5.7	—
Rear Bldg. Setback	20'	52.1	9.71	11'
Accessory Structure Height / Setbacks	/	/	/	/
	As Required	Existing NOW	Proposed	Variance Required
Parking	?	2-CAR GARAGE	—	—
Height of Structure	32'	24'	31	—

*Required setback information is available in the [Zoning Ordinance](#) which is available on the City of Homewood website. If you need to find out how your property is zoned, please contact the zoning department by calling 332-6828 or 332-6854 or by clicking on the following link to email: [Zoning Information](#).

INDICATE THE FOLLOWING

The following information can be completed when applying but applicant must provide a survey to verify:

Proposed Location of Fence (check all that apply):

☐

Front Yard

☐

Side Yard (left)

☐

Side Yard (right)

☐

Rear Yard

Description of Proposed Fence (please include dimensions, materials, etc. of the proposed fence):

N/A

PURPOSE OF VARIANCE

A variance is requested on the property described below in conformity with the powers vested in the Board to permit:

- ☒ the construction of an addition to a residence,
- ☐ the construction of residence,
- ☐ the construction of an addition to a commercial structure,
- ☐ the construction of a commercial structure,
- ☐ the construction of a fence
- ☐ other (describe):

VARIANCE REQUESTED

TO DEMO EXISTING GARAGE AND ADD ADDITION
TO REAR OF EXISTING HOUSE THAT INCLUDES
A CONNECTING BREEZE WAY AND ONE CAR
ATTACHED GARAGE WITH LIVING/STORAGE ON GROUND
FLOOR AND SECOND FLOOR OF GARAGE.

BREEZEWAY INCLUDES PROPOSED PORCH AND
LIVING AREA ABOVE THAT CONNECTS TO EXISTING
ROOF LINE. BREEZEWAY AREA IS ON A PROPOSED
CRAWL SPACE. ONE CAR GARAGE HAS DRIVE WAY
ENTERING CONNECTING STREET IRVING STREET.

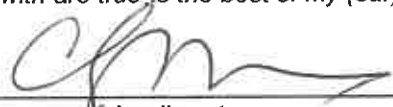
City of Homewood
Board of Zoning Adjustments
Request for Variance

✓ PLEASE STATE HARDSHIP – for guidance, see "What is a Variance" on page 1 of instructions page:

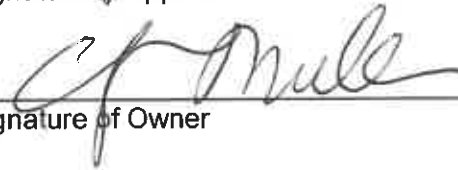
IN AN effort to address security
issues to occupant - recently widowed
at 28 years of age we are requesting a
variance to accommodate a one car attached
garage to insure that safety can be
maintained. ~~the~~ Entering and leaving her home
for safety and security as a primary
consideration for her. Having this garage
and breezeway is a necessary.

The undersigned hereby grants permission for a sign, advertising the BZA hearing date, time and place to be posted on my property. I (we) attach \$100.00 application fee and promise to pay any additional costs billed separately for extra items related to this variance request.

I (we) certify that all of the above statements and the statements contained in any paper of plans submitted herewith are true to the best of my (our) knowledge and belief.


Signature of Applicant

5-1-23
Date


Signature of Owner

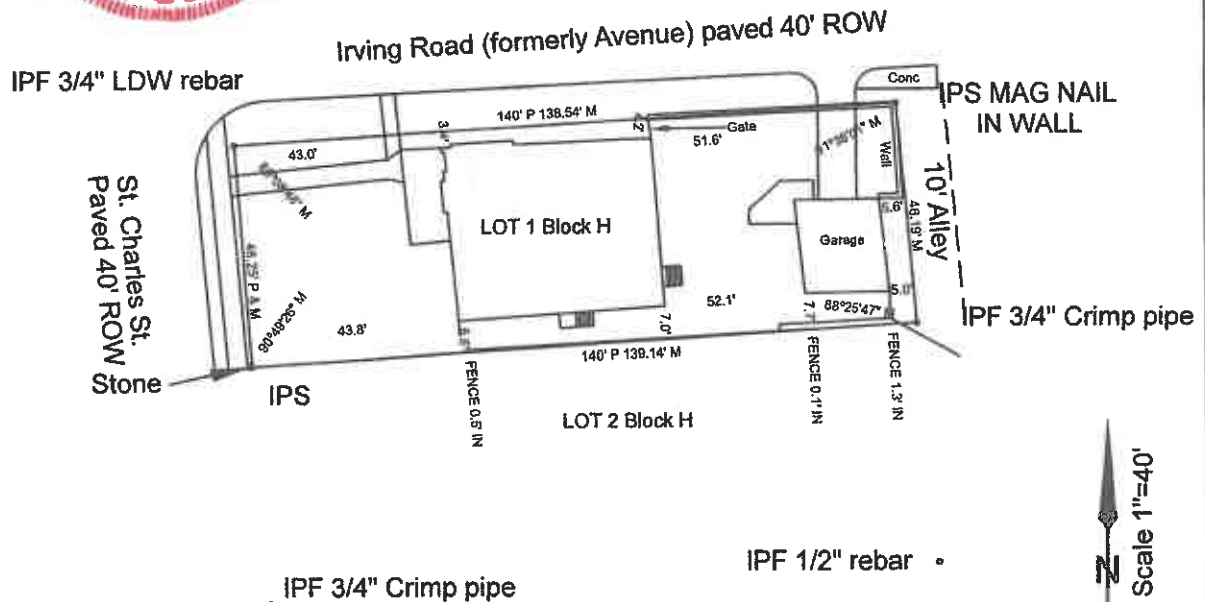
5-1-23
Date

Signature of Owner

Date



As-Built Survey



LEGEND

Ac= Acres
A/C= Air-conditioning
Anc= Anchor
Ave= Avenue
Bldg= Building
C & G= Curb & Gutter
Ch= Chord
Conc= Concrete
CM= Concrete Monument Found
CMP= Corrugated Metal Pipe
CO= Sanitary Sewer Clean out
D= Deed or Central Angle
E= East
Elec= Electric
EJB= Electric Junction Box
EM= Electric Meter
FH= Fire Hydrant
Fnc= Fence
Fnd= Found
GM= Gas Meter
IPF= Iron Pin Found
IPS= Iron Pin Set 1/2" Rebar With Cap Marked JW Cockrell 23342
LS= Lamp Standard
MB= Mapbook
MH= Manhole
M= Measured
N= North
OHU= Overhead Utilities
P= Plat
Pg= Page
POB= Point of Beginning
POC= Point of Commencement
POE= Point of Ending
PK= Parker-Kalon Nail
PLS= Professional Land Surveyor
R= Radius, Range or Record
RCP= Concrete Pipe
RP= Reference Point
Ref= Reference
Rec= Recorded
RM= Reference Mark
ROW= Right-of-way
RRS= Railroad Spike
S= Degree
S= South or Section
SCM= Set Concrete Monument
SS= Sanitary Sewer
SSMH= Sanitary Sewer Manhole
STMH= Storm Sewer Manhole
Stor= Storage
T= Township or Telephone
Tpd= Telephone Pedestal
TI= Telephone Interface
TMH= Telephone Manhole
UG= Underground
UP= Utility Pole
W= West or Water
WM= Water Meter
WV= Water Valve
'= Minute or Foot
"-= Second or Inch
--= Not to scale
--= Leader Line

I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

Jerry W. Cockrell, PLS Alabama License Number: 23342

Description

State of Alabama
Jefferson County

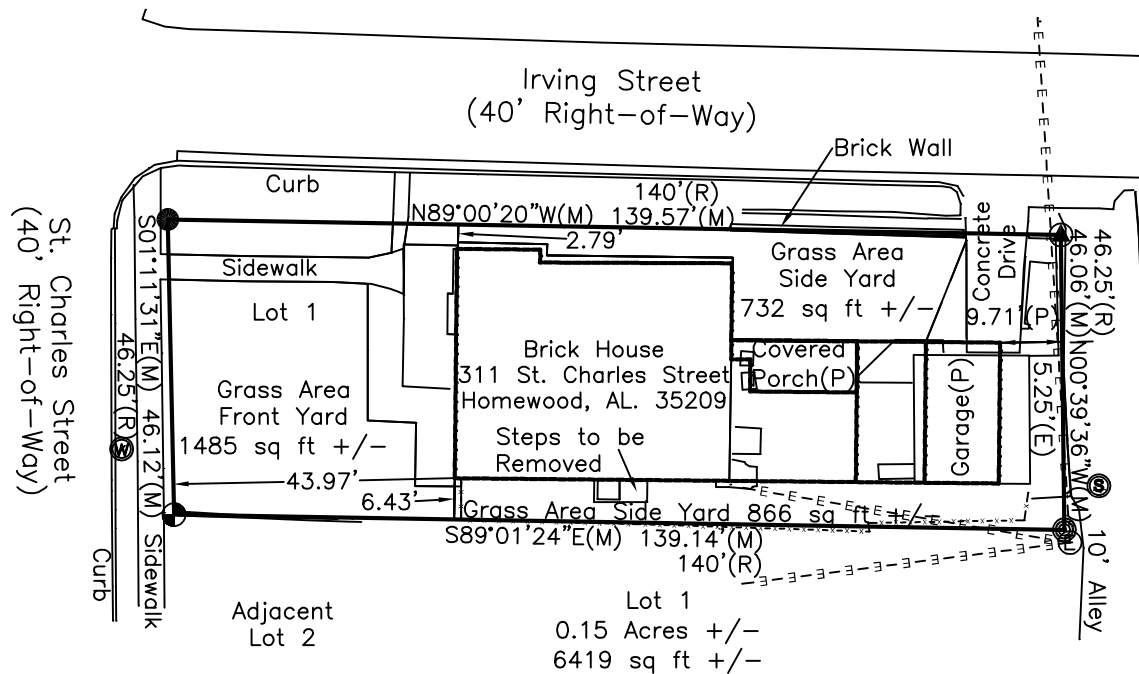
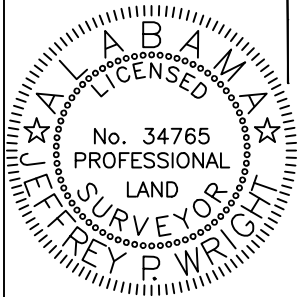
Lot 1, Block H, according to the Survey of South Highland Company's Annex to South Highlands, as recorded in Map Book 7, page 3, in the Birmingham Division of the Probate Office of Jefferson County, Alabama.

General Notes:

1. This As-Built survey is not valid without the signature and seal of a Professional Land Surveyor.
2. There was no location attempted to determine the location or the extent of a possible encroachment beneath the surface.
3. Subject to restrictions, easements and rights-of-way, if any.
4. A current title was not furnished to or made by the surveyor.
5. Visible encroachments, if any, as they exist on the date of survey.
6. Date of survey is 08/02/2022.
7. This survey utilizes Plat North referenced to the westerly line of the surveyed premises, as shown, and a Tangent Plane Projection with a combined factor of 1.000000.
8. Sources of Information: Plat recorded in Map Book 7, Page 3 (Birmingham Division) and Instrument Number 2018070768 recorded in the Probate Office of Jefferson County, Alabama.
9. In and out, if used, refer to within or without the surveyed premises.



AS-BUILT SURVEY
PREPARED BY: JERRY W. COCKRELL
190 CHASE CREEK CIRCLE PELHAM, AL 35124
TELEPHONE: (205) 515-2308
DATE OF FIELD WORK: 8/02/2022
DATE OF DRAWING: 08/03/2022



Proposed Enclosed Structure
2307 sq ft +/-

Survey of Lot 1, Block H, according to the Survey of South Highland Company's Annex to South Highlands, as recorded in Map Book 7, page 3, in the Probate Office of Jefferson County, Alabama.

Survey For: Cheryl & Richard Mullen

Survey Type: Boundary

Bearings Referenced to Alabama
State Plane NAD 83 West Zone

Scale 1"=30'



Wright Surveying LLC.
2201 3rd ST NW
Carbon Hill AL 35549
Phone: (205)924-9275

Date(s) of Survey: 02-09-2023
Date of Signature: 02-16-2023

Drawn By: J.P.W. Approved By: J.P.W.

"I Jeffrey P. Wright hereby certify (or state) that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief."

Jeffrey P. Wright
Certified By: Jeffrey P. Wright
P.L.S. 34765

Notes:

(R)=Dimension of Record according to the Survey of South Highland Company's Annex to South Highlands, as recorded in Map Book 7, page 3, in the Probate Office of Jefferson County, Alabama.

(M)=Measured Dimension.

(P)=Proposed.

Deed Referenced Instrument Number 2022084750.

New House Plan Shown in Bold.

—x—x—x—x—x—x— = Wood Fence

—E—E—E—E—E—E— = Utility Line

Ⓜ = Water Meter

ⓔ = Utility Pole

Ⓢ = Sewer Manhole

▲ = Found Magnetic Nail in Top of Brick Wall

⊙ = Found 3/4" Crimped Pipe

● = Found 1/2" Capped Rebar CA-796

● = Found 5/8" Capped Rebar PLS-10373

IF ENGINEERED WOOD PRODUCTS ARE USED, OR SUBSTITUTED, FOR THE MATERIALS SHOWN, PLEASE REFER TO THE MANUFACTURERS' / SUPPLIERS' PLACEMENT PLANS AS THE ENGINEERING OF RECORD. PRECISE HOME DESIGN DOES NOT GUARANTEE THE ACCURACY OF THESE PLACEMENT PLANS AND ALL INQUIRIES ARE TO BE DIRECTED TO THE MANUFACTURER(S) / SUPPLIER(S) DESIGNER OF RECORD.

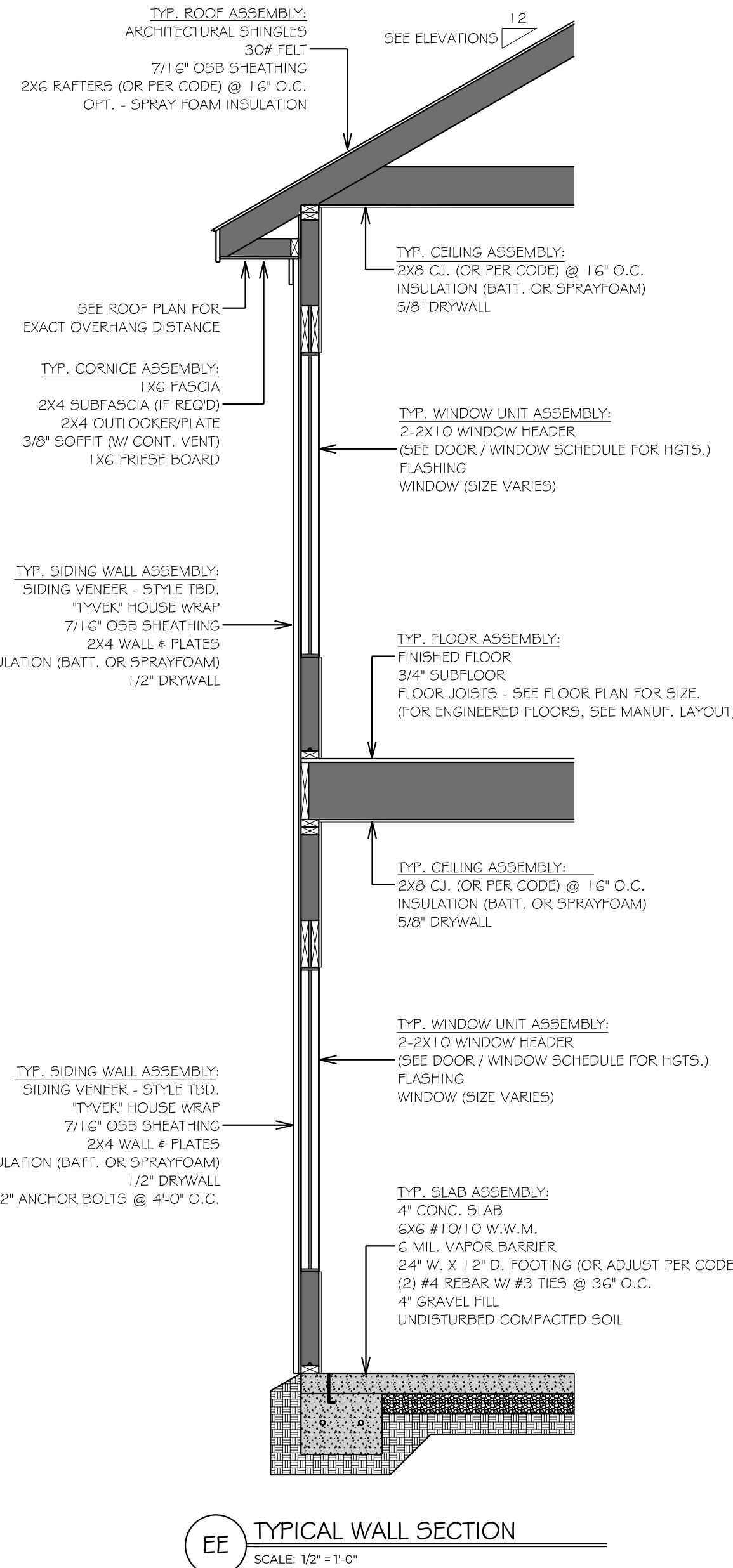
IF NO PLACEMENT PLAN WAS SUPPLIED, PLEASE REQUEST ONE IMMEDIATELY.

IF THIS STAMP IS NOT RED

REPRODUCTION OF THESE PLANS BY ANY MEANS IS PROHIBITED BY FEDERAL LAW. VIOLATIONS ARE PUNISHABLE BY FINES UP TO, BUT NOT LIMITED TO, \$100,000.00 PER OFFENSE.

CONTACT PRECISE HOME DESIGN LLC TO OBTAIN LEGAL COPIES OF THESE PLANS.

IT IS AN ILLEGAL SET OF PLANS



BUILDER PERMIT SET OF PLANS

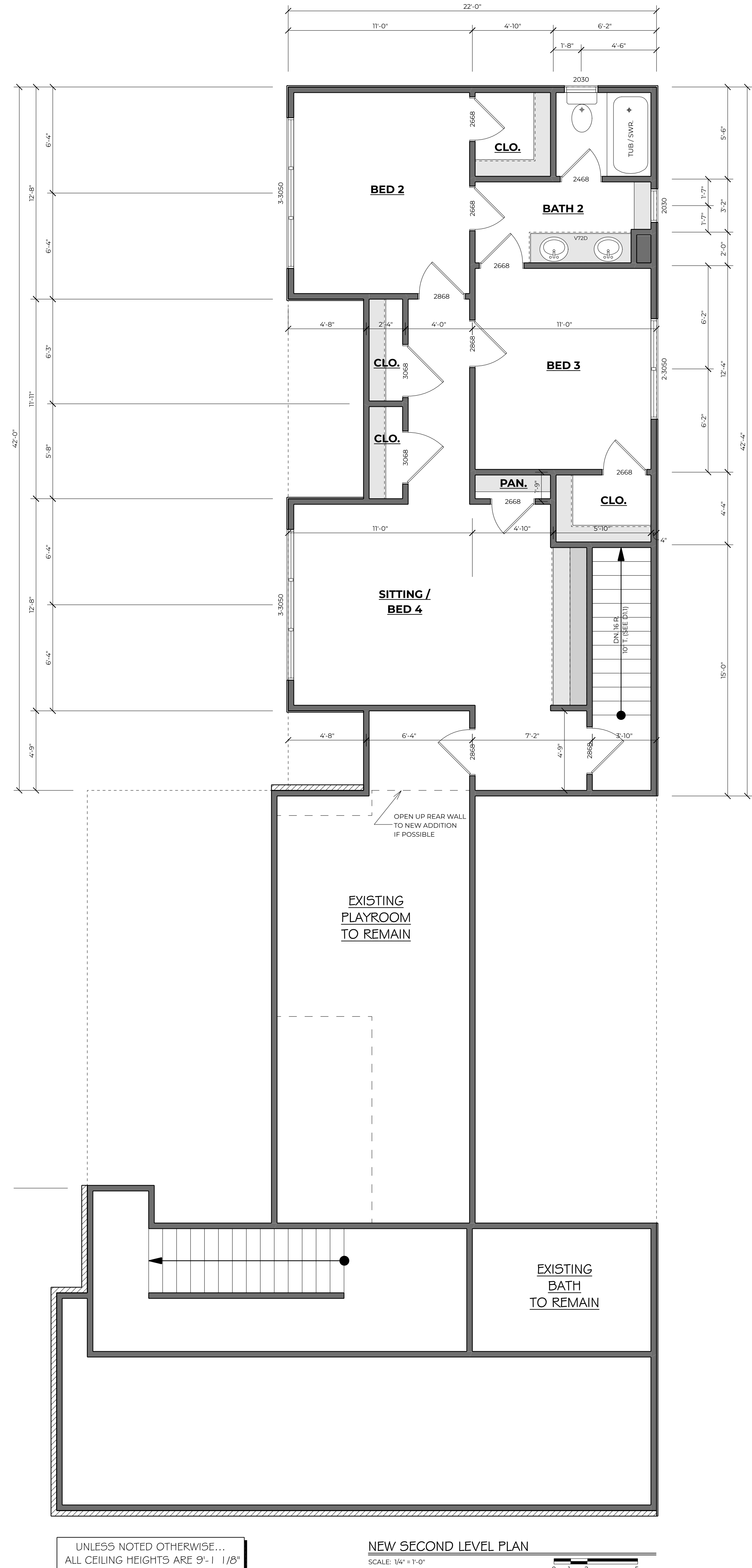
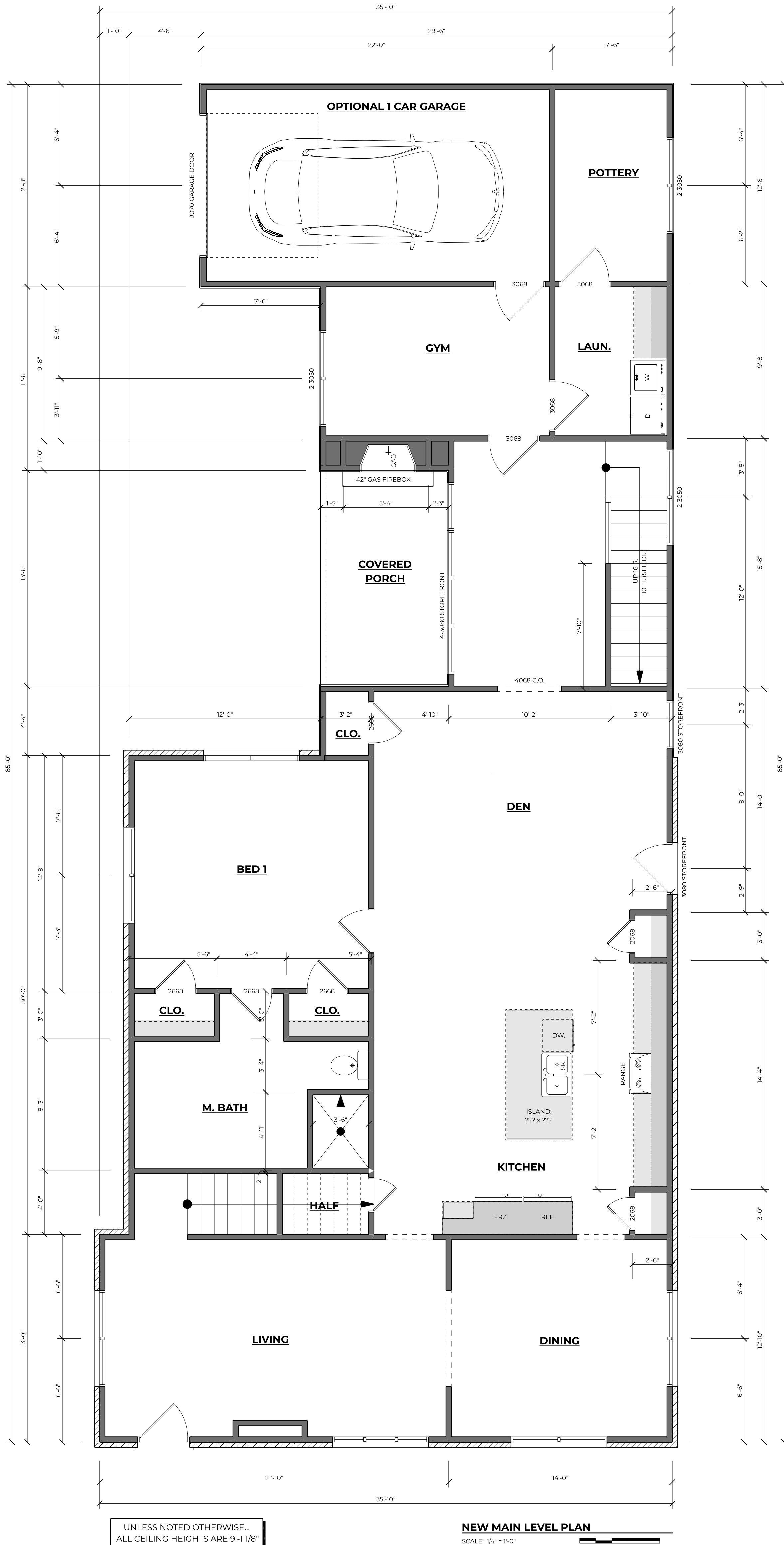
THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S / PERMIT SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS "PLANS". THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED IN FULL DETAIL. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLY OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY A SPECIFIC PRODUCT OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

DESIGN LOADS:
LIVE LOAD - 40 PSF
DEAD LOAD - 10 PSF
DEFLECTION: 1/360 (1/480 RECOMMENDED ON FLOOR JOISTS)

FLOOR PLAN GENERAL NOTES:

- SEE "TYPICAL WALL SECTION" FOR ALL GENERAL STUD THICKNESSES, CEILING HEIGHTS, EXTERIOR VENEIERS AND STRUCTURAL COMPONENTS.
- UNLESS NOTED OTHERWISE ALL WALLS AND VENEIERS ARE DRAWN: 2x4 @ 12" O.C. 2x6 @ 12" O.C. 2x8 @ 12" O.C. 2x10 @ 12" O.C. 2x12 @ 12" O.C.
- UNLESS NOTED OTHERWISE ALL INTERIOR WALLS AND EXTERIOR WALLS ARE 2x4 @ 12" O.C. IF DIFFERENT WALL WILL BE NOTED AS TO REQUIRED SIZE.
- ALL CALLOUTS AND DETAILS USED ARE FOR GENERAL PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY.
- THE STRUCTURAL INFORMATION IS FOR REFERENCE ONLY. CONSULT A LOCAL ENGINEER TO REVIEW ALL STRUCTURAL ELEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET LOCAL CODES.
- PROVIDE 1-HOUR FIREWALL BETWEEN GARAGE AND RESIDENCE WITH 5/8" GYPSUM BOARD FROM FLOOR TO BOTTOM OF SHEATHING.
- WINDOW NOTES:**
 - CONTRACTOR TO VERIFY THAT ALL WINDOWS MEET OR EXCEED INGRESS/EGRESS PER LOCAL CODES.
 - CONTRACTOR TO VERIFY THAT ALL WINDOWS MEET TEMPERED GLASS REQUIREMENTS PER LOCAL CODES.
 - CONTRACTOR TO INSTALL CUSTOMER LOCK OR 30MIN INSET ON ALL WINDOWS ON SECOND LEVELS W/ SILLS LESS THAN 24" ABOVE FLOOR.
 - CONTRACTOR / SUPPLIER SHALL DETERMINE ALL ROUGH OPENING SIZES AND ADJUST DIMENSIONS AS NEEDED TO SATISFY. SEE DOOR & WINDOW SCHEDULES.
- PLUMBING NOTES:**
 - ANY PLUMBING WALLS WITH 2" DRAIN LINES (OR GREATER) TO BE CONSTRUCTED WITH 2x6 STUDS / PLATES.
 - ALL PENETRATIONS IN TOP AND BOTTOM PLATES FOR PLUMBING OR ELECTRICAL RUNS TO BE SEALED.
 - PROVIDE 1/2" WATERPROOF GYPSUM BOARD AROUND ALL TUBS, SHOWERS AND SINKS.
 - INSULATE WATER HEATER TO R-11. W/ IN GARAGE TO BE ON 8" HIGH PLATFORM.
 - VENT DRYER AND ALL FANS TO OUTSIDE AIR THRU VENT WITH DAMPER.
- INSTALL ALL MATERIALS (AND ADJUST CONSTRUCTION AS NEEDED) PER ALL MANUFACTURERS SPECIFICATIONS.
- ALL ANGLES ARE DRAWN AT 45 DEGREES (UNLESS NOTED OTHERWISE).
- UNLESS NOTED OTHERWISE IN THE TITLE BLOCK, ALL DETAILS AND NOTES ARE BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC).
- ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.

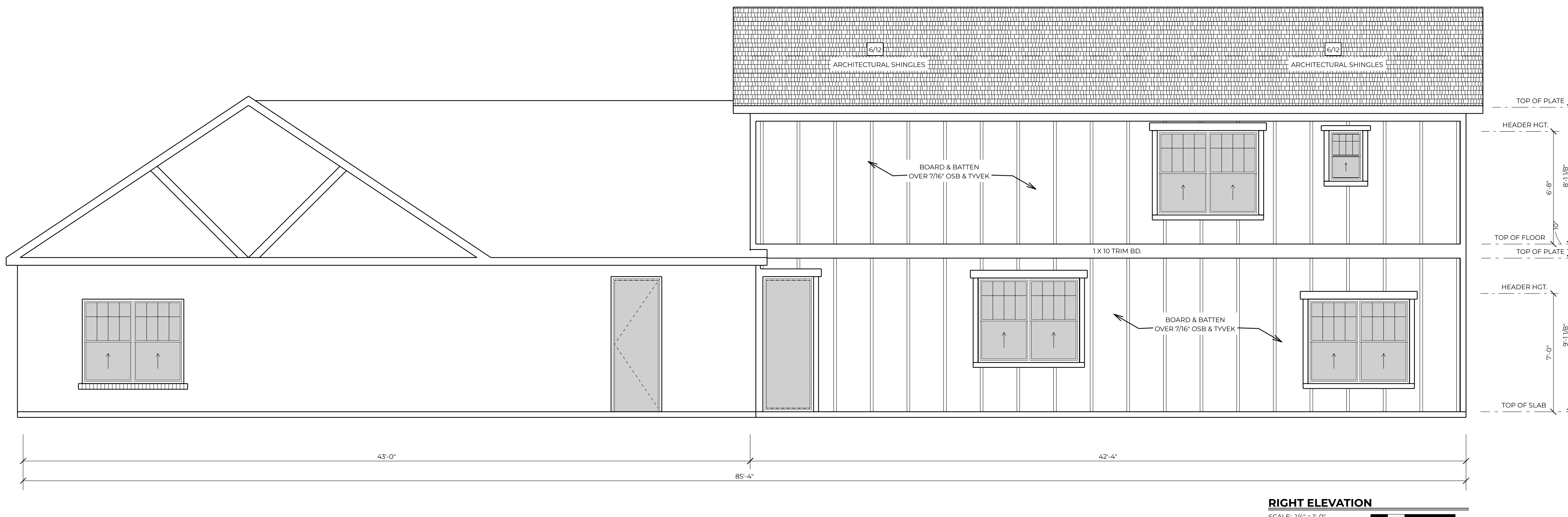
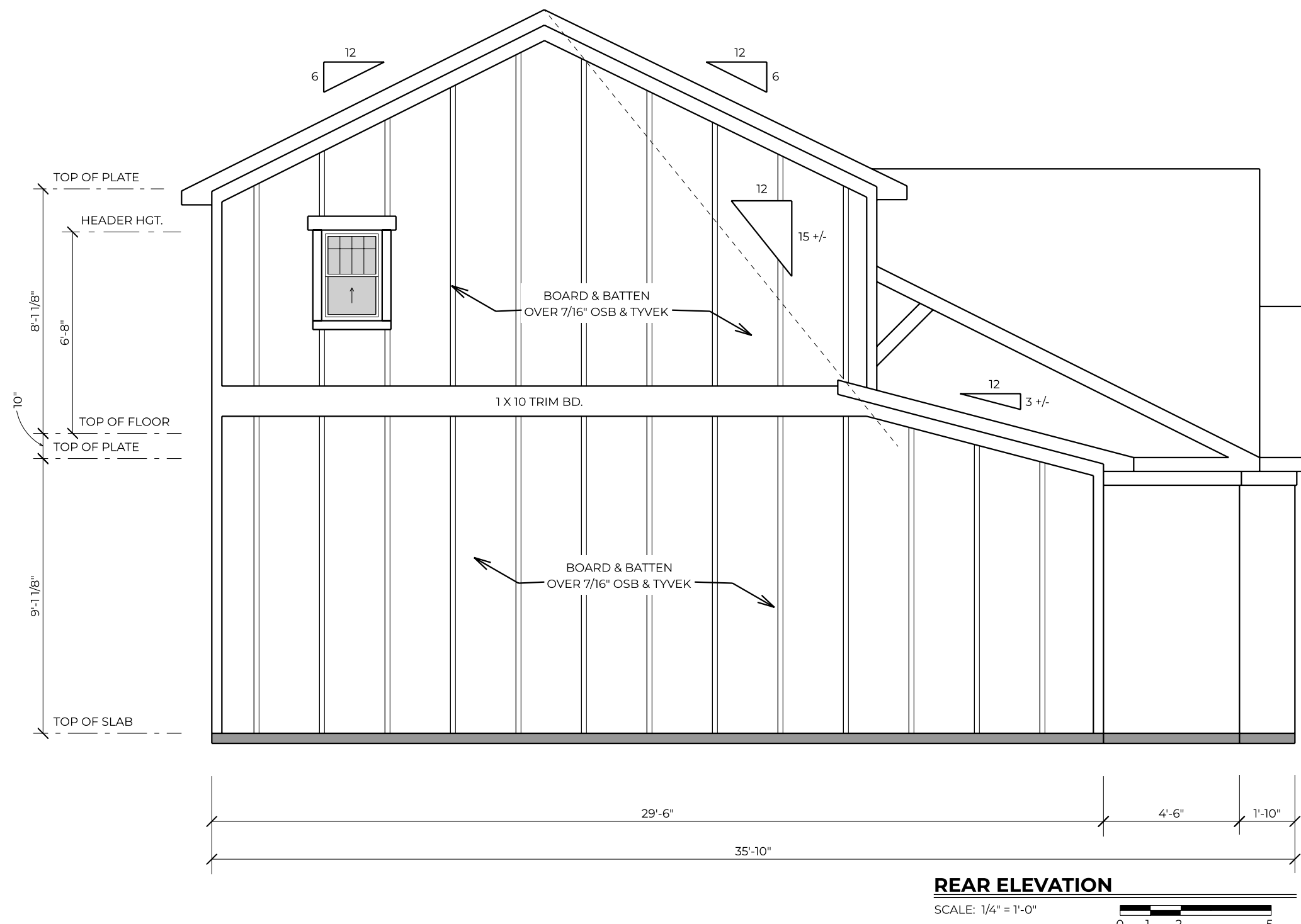
HALF SCALE SET
ALL SCALES SHOWN ARE HALVED



HALF SCALE SET
ALL SCALES SHOWN ARE HALVED



NOTE: ATTIC VENTILATION PER
LOCAL CODES AND REQUIREMENTS



HALF SCALE SET

ALL SCALES SHOWN ARE HALVED

ELEVATION(S) GENERAL NOTES:

1. ELEVATIONS ARE CONCEPTUAL ONLY. DEPENDING ON UNFORESEEN BUILDING CONDITIONS AND TERRAIN.
2. ALL CALLOUTS AND DETAILS ARE FOR GENERAL PURPOSES ONLY.
3. **THE STRUCTURAL INFORMATION IS FOR REFERENCE ONLY. CONSULT A LOCAL ENGINEER TO REVIEW ALL STRUCTURAL ELEMENTS.**
4. DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OF THE STRUCTURAL SYSTEMS.
5. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL DETERMINE ALL ROUGH OPENING SIZES AND ADJUST DIMENSION AS NEEDED.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES.
7. FINAL SIDING AND BRICKSTONE STYLES TO BE DETERMINED BY BUILDER/HOMEOWNER PRIOR TO INSTALLATION.
8. INSTALL ALL MATERIALS (AND ADJUST CONSTRUCTION AS NEEDED) PER ALL MANUFACTURERS SPECIFICATIONS.
9. ALL ANGLES ARE DRAWN AT 45 DEGREES (UNLESS NOTED OTHERWISE).
10. **ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.**

ROOF PLAN GENERAL NOTES:

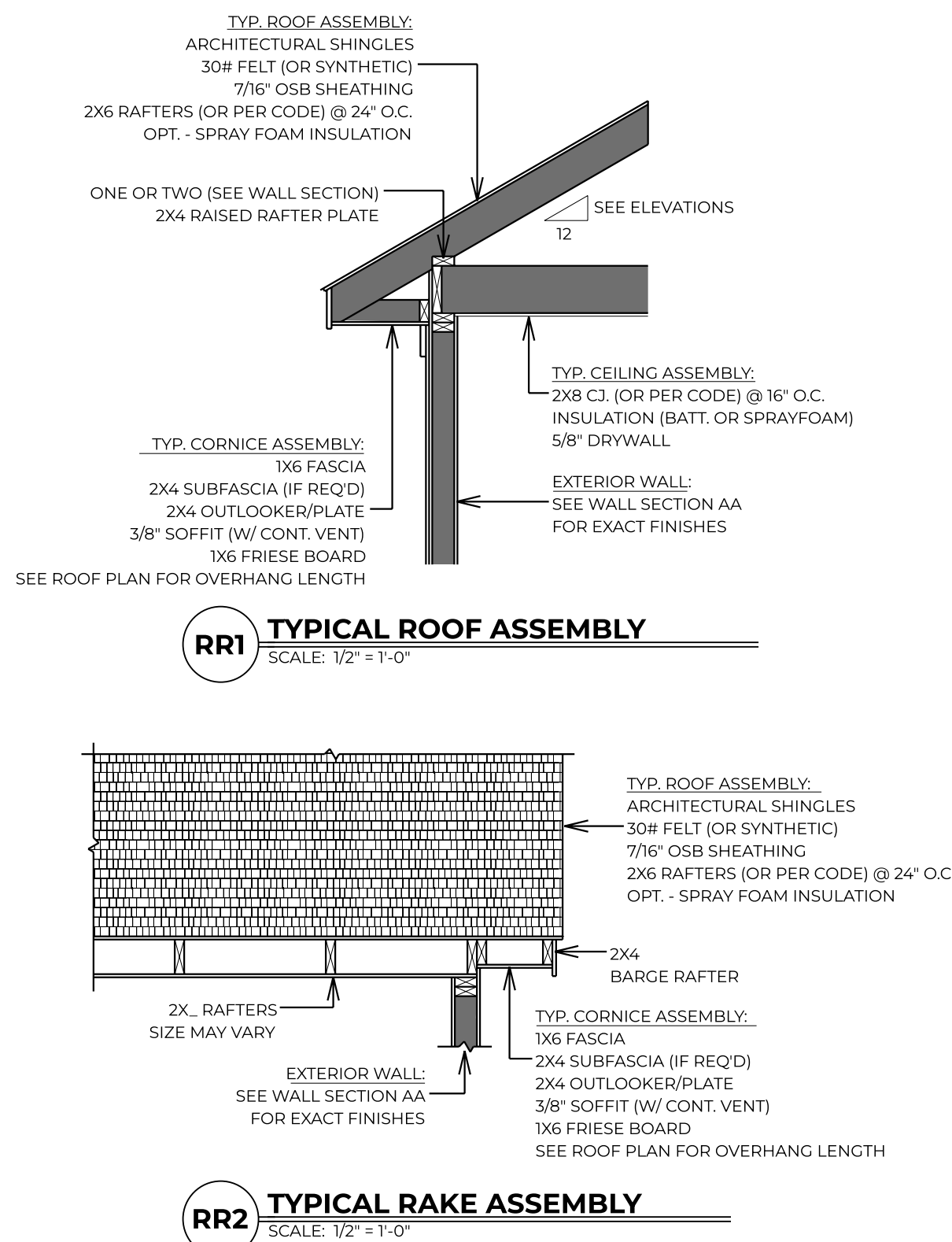
1. SEE ROOF PLAN FOR ALL PITCHES AND ROOF PLANE TYPES.
2. ALL CALLOUTS AND DETAILS ARE FOR GENERAL PURPOSES ONLY.
3. **THE STRUCTURAL INFORMATION IS FOR REFERENCE ONLY. CONSULT A LOCAL ENGINEER TO REVIEW ALL STRUCTURAL ELEMENTS.**
4. DESIGNER IS NOT RESPONSIBLE FOR THE DESIGN OF THE STRUCTURAL SYSTEMS.
5. ALL CEILING JOISTS AND ROOF RAFTERS TO BE INSTALLED PER LOCAL BUILDING CODES. SEE SPAN TABLES.
6. **RAFTER SPANS (20 PSF LL, 10 PSF DL, 125% DURATION)**
2X6 #2 PINE - 16'-0" @ 12' O.C. 13'-5" @ 16' O.C. 11'-0" @ 24' O.C.
2X8 #2 PINE - 19'-6" @ 12' O.C. 17'-1" @ 16' O.C. 13'-11" @ 24' O.C.
7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND ADJUSTING STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL BUILDING CODES.
8. ALL OVERHANGS AND FASCIAS SHOULD LINE UP. BUILD UP HIGHER PITCHED ROOFS TO ALIGN FASCIAS.
9. INSTALL INSULATION BATTLES AT EAVE VENTS BETWEEN RAFTERS.
10. ALL SHINGLED ROOFS WITH A PITCH OF LESS THAN 4/12 SHALL BE INSTALLED WITH ICE & WATER BARRIER.
11. PROVIDE FLOORED PATHWAY IN ATTIC TO ANY HVAC UNITS OR WATER HEATERS.
12. THRU AND VALLEY FLASHING TO BE INSTALLED IN ALL REQUIRED AREAS.
13. IF AT ALL POSSIBLE, RAFTERS SHOULD SIT DIRECTLY OVER CEILING JOISTS BELOW.
14. PROVIDE 2X8 STRONGBACKS AT MIDSPAN OF CEILING JOISTS WITH SPANS OVER 10'-0".
15. PROVIDE COLLAR TIES AT UPPER END OF RAFTERS.
16. ALL HIP, VALLEY AND RIDGE BOARDS SHALL BE ONE 2X SIZE LARGER THAN THE RAFTERS.
17. ALL PRE-ENGINEERED ROOF TRUSSES SHALL BE DESIGNED BY TRUSS MANUFACTURER.
18. ALL KNEEWALL CONSTRUCTION SHALL BE BRACED DIAGONALLY @ 4'-0" O.C.
19. **ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.**



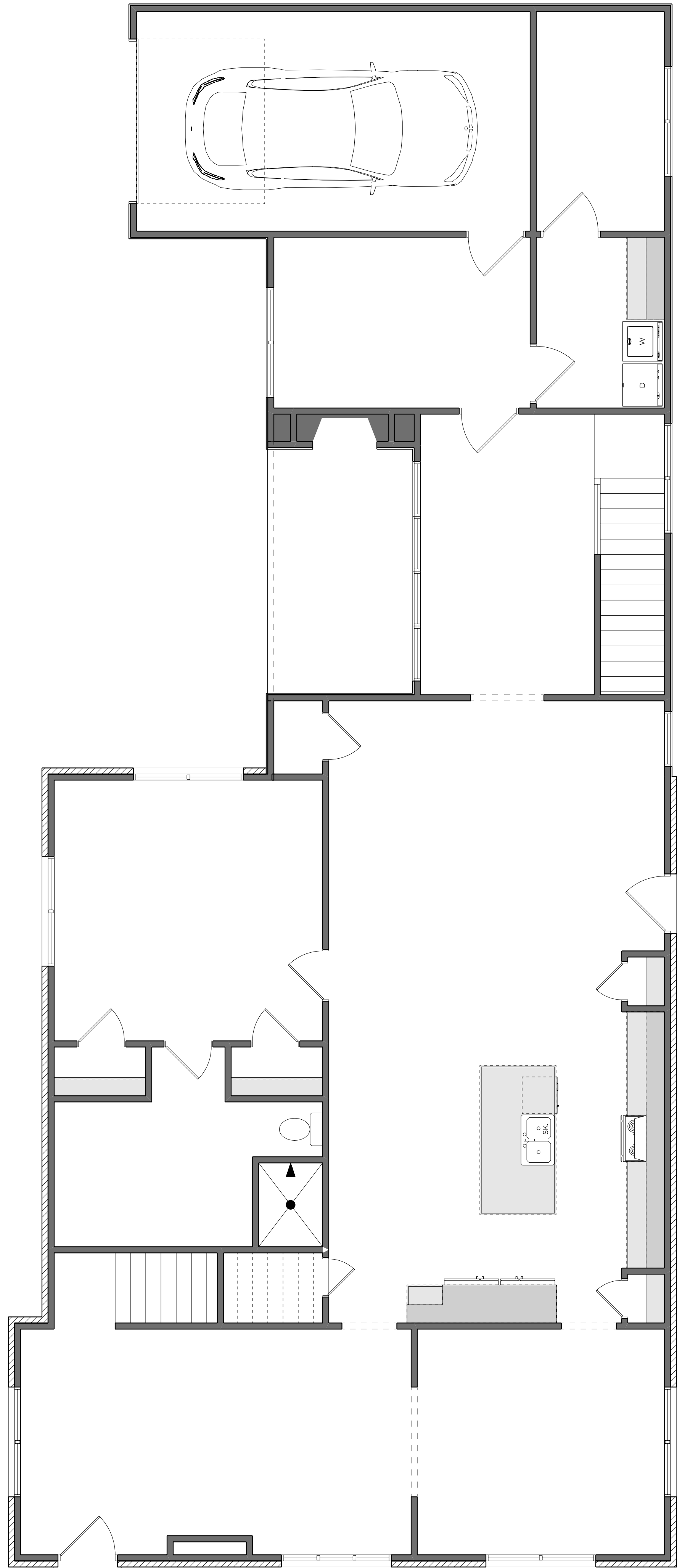
HALF SCALE SET

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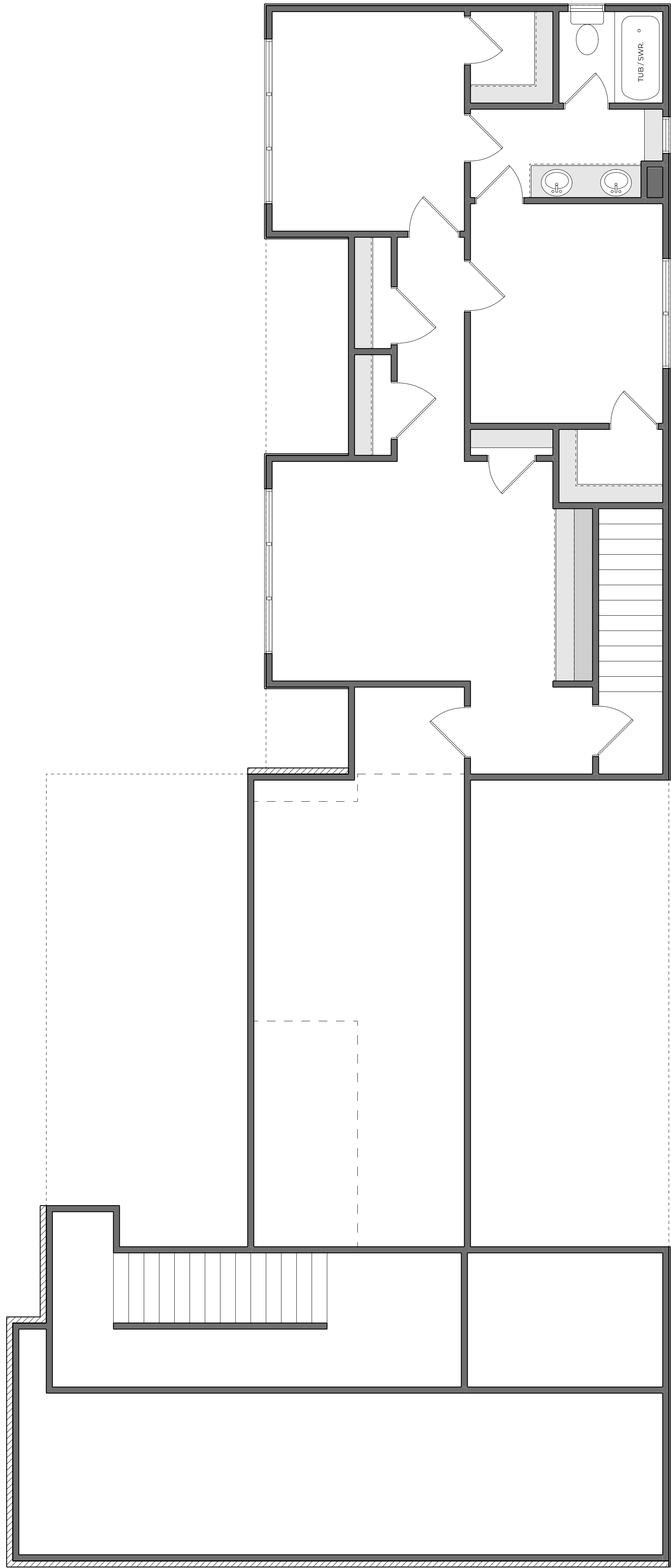
IF THIS STAMP IS NOT RED
REPRODUCTION OF THESE PLANS BY ANY MEANS
IS PROHIBITED BY FEDERAL LAW. VIOLATIONS ARE
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\$100,000.00 PER OFFENSE.
CONTACT PRECISE HOME DESIGN, LLC.
TO OBTAIN LEGAL COPIES OF THESE PLANS.
IT IS AN ILLEGAL SET OF PLANS



NOTE: ATTIC VENTILATION PER
LOCAL CODES AND REQUIREMENTS



MAIN LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



SECOND LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

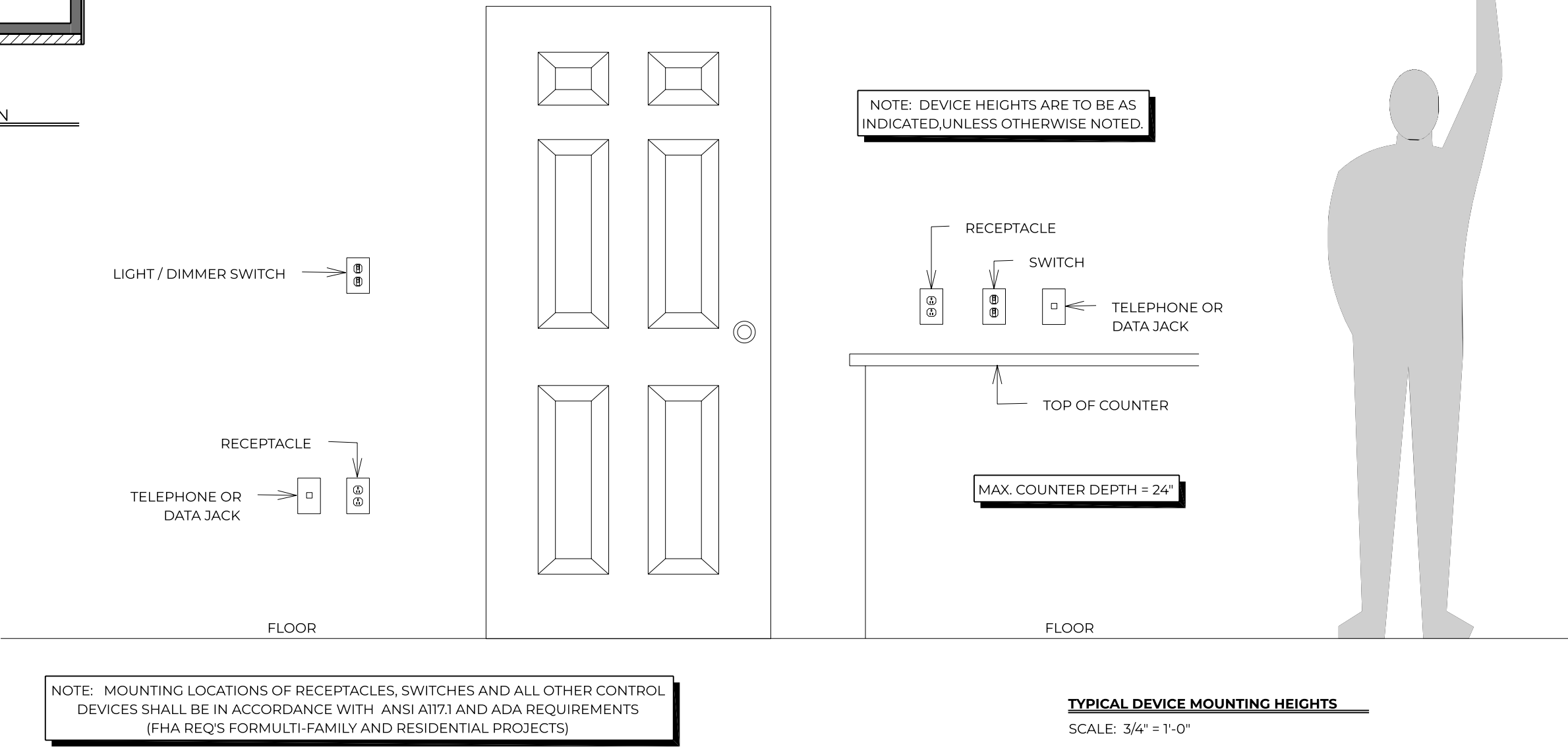
ELECTRICAL SCHEDULE	
[F]	FAN BOX
[L]	LIGHT / FAN BOX
[E]	EYEBALL LIGHT
[FR]	FREEZER PLUG OUTLET
[WP]	EXTERIOR WATERPROOF DUPLEX RECEPTACLE
[L]	EXTERIOR WALL MOUNTED SCONCE OR LANTERN
[SD]	SMOKE DETECTOR
[S]	EXHAUST FAN
[S]	SURFACE MOUNTED LIGHT FIXTURE
[D]	DIRECTIONAL RECESSED CAN
[GFI]	GROUND FAULT INTERRUPTER CIRCUIT (GFI)
[TV]	CABLE TELEVISION
[S]	WALL SWITCH
[SD]	DIMMER SWITCH
[S3]	THREE-WAY SWITCH
[SD3]	THREE-WAY DIMMER SWITCH
[S4]	FOUR-WAY SWITCH
[SD4]	FOUR-WAY DIMMER SWITCH
[220]	220-VOLT OUTLET
[F]	EXTERIOR FLOOR LIGHT WITH PHOTO ELECTRIC CELL
[F]	EXTERIOR FLOOR LIGHT
[R]	RECESSED CAN FIXTURE
[P]	CEILING MOUNTED PENDANT FIXTURE
[H]	WALL MOUNTED SCONCE
[D]	DUPLEX RECEPTACLE OUTLET
[D]	DUPLEX RECEPTACLE FLOOR OUTLET
[D]	SWITCHED DUPLEX RECEPTACLE OUTLET
[D]	SWITCHED DUPLEX RECEPTACLE FLOOR OUTLET
[TV]	TELEPHONE / CABLE COMBO
[K]	TELEPHONE RECEPTACLE
[D]	DATA OUTLET
[D]	TELEPHONE & DATA COMBO WALL OUTLET
[D]	FLOOR TELEPHONE RECEPTACLE
[F]	CEILING FAN FIXTURE
[U]	UNDER-CABINET MOUNTED FIXTURE
[GAR]	GARAGE DOOR OPENER
[F]	2'-0" FLORESCENT FIXTURE
[F]	4'-0" FLORESCENT FIXTURE

HALF SCALE SET
ALL SCALES SHOWN ARE HALVED

ELECTRICAL NOTES - CODE: 2014 NEC.

1. THE DESIGN INTENT OF THE ELECTRICAL DIAGRAM IS TO SHOW THE LOCATION OF ELECTRICAL ITEMS THAT ARE DESIGNED BY THE OWNER / BUILDER.
2. THE ELECTRICAL CONTRACTOR SHOULD CONSULT WITH THE OWNER / BUILDER BEFORE MAKING ANY CHANGES TO THE ELECTRICAL PLAN.
3. THE ELECTRICAL CONTRACTOR SHOULD VERIFY THE ELECTRICAL PLAN TO ENSURE THAT THE PLAN MEETS ALL NATIONAL AND LOCAL CODES.
4. ALL ELECTRICAL OUTLETS THAT ARE LOCATED NEAR ANY WATER CONDITION OR ON THE EXTERIOR OF THE HOUSE SHOULD BE GFI OUTLETS.
5. THE SWITCHES AND OUTLETS SHALL BE COORDINATED WITH THE OWNER AND COLOR SHOULD MATCH THE INTERIOR TRIM COLOR.
6. THE GENERAL CONTRACTOR SHALL COORDINATE THE INTERCOM SYSTEM, ALARM SYSTEM AND CENTRAL VACUUM SYSTEMS (IF NEEDED) WITH OWNER.
7. ALL PENETRATIONS IN TOP AND BOTTOM PLATES FOR PLUMBING OR ELECTRICAL RUNS TO BE SEALED. SEE ELECTRICAL PLANS FOR ADDITIONAL SPECIFICATIONS.
8. THE GENERAL CONTRACTOR SHOULD VERIFY WITH THE OWNER THE LOCATIONS OF ALL TELEVISION, PHONE, CABLE AND COMPUTER OUTLETS.
9. ALL LIGHT FIXTURES, SWITCHES, OUTLETS, ETC. SHOULD BE LOCATED AS CLOSE AS POSSIBLE TO THE LOCATION SHOWN ON THE ELECTRICAL PLAN.
10. ALL GAS AND ELECTRICAL SERVICE IS TO BE PROVIDED FOR ALL APPLIANCES AND EQUIPMENT SUCH AS THE FRIDGE, DISHWASHER, WASHER, ETC.
11. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXTERIOR AND LANDSCAPE LIGHTING WITH THE OWNER BEFORE CONSTRUCTION.
12. THE ELECTRICAL PANEL BOX SHOULD BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND PROVIDE FOR A MAXIMUM OF EIGHT SPARE BREAKERS.
13. THE ELECTRICAL AND GAS METER SHALL BE LOCATED AWAY FROM ANY PROMINENT VIEW.
14. ALL GARAGE AND EXTERIOR PLUGS AND LIGHT FIXTURES TO BE ON GFCI CIRCUIT.

HALF SCALE SET
ALL SCALES SHOWN ARE HALVED



NOTE: MOUNTING LOCATIONS OF RECEPTACLES, SWITCHES AND ALL OTHER CONTROL DEVICES SHALL BE IN ACCORDANCE WITH ANSI A117.1 AND ADA REQUIREMENTS (IF A REQ'S FORMULTI-FAMILY AND RESIDENTIAL PROJECTS)

TYPICAL DEVICE MOUNTING HEIGHTS
SCALE: 3/4" = 1'-0"













CITY OF HOMEWOOD
ENGINEERING & ZONING DEPARTMENT

2850 - 19th Street South - 4th Floor
Homewood, Alabama 35209
Phone 205-332-6800 | Fax 205-332-6955

Patrick McClusky, Mayor

Cale Smith, PE, Director

May 25, 2023

Cheryl and Richard Mullen
101 Caber Court
Vestavia Hills, Alabama 35242

Re: 311 St. Charles Street, Homewood, Alabama 35209

Dear Property Owner:

This letter shall serve as a public hearing notice to the parties in interest and to all adjacent property owners. The Homewood Board of Zoning Adjustments has been petitioned to modify the zoning regulations, as they apply to the above referenced property, as follows:

Case # SV-23-06-01, 311 St Charles Street, Parcel ID No. 29 00 13 2 009 006.000
Applicant / Property Owners: Cheryl and Richard Mullen

- a) A request for a variance to Article IV, District Uses, Sec. A. Neighborhood Preservation District, (3) Development Regulations, d. setbacks, 3. Rear, to reduce the setback requirement along the rear property line from 20-feet to 9.71-feet (9-feet, 8.5-inches) for a total reduction of 11-feet to construct a rear addition to an existing house.*

The Board of Zoning and Adjustments will consider this petition at its regular meeting to be held at **6:00 p.m. on Thursday, June 1, 2023**, in the Council Chambers (2nd Floor) of Homewood City Hall, 2850 19th Street South. **You or your agent must attend the public hearing to present your request to the Board.** Public comments in support or opposition to your petition shall be heard by the Board at this time.

Additional information regarding live stream viewing and the electronic submittal of comments is provided on the reverse side of this notice.

Sincerely,



Sherri Williams, Zoning Supervisor

cc: Applicant
Adjacent property owners

Information and Instructions: The public hearing will be preceded by a brief work session between Board Members and city staff beginning at 5:30 p.m. in the City Council's Committee Workroom located on the 2nd floor behind the Council Chambers.

If you wish to view the live stream for this meeting, the "Live Stream" link is available on the home page the city's website at www.cityofhomewood.com or you can connect directly via: www.cityofhomewood.com/live-stream. **Although Board of Zoning Adjustments meetings may be viewed through the live streaming service, persons wishing to participate in the public hearing, by speaking in support or opposition to a particular case, must attend the meeting in person.**

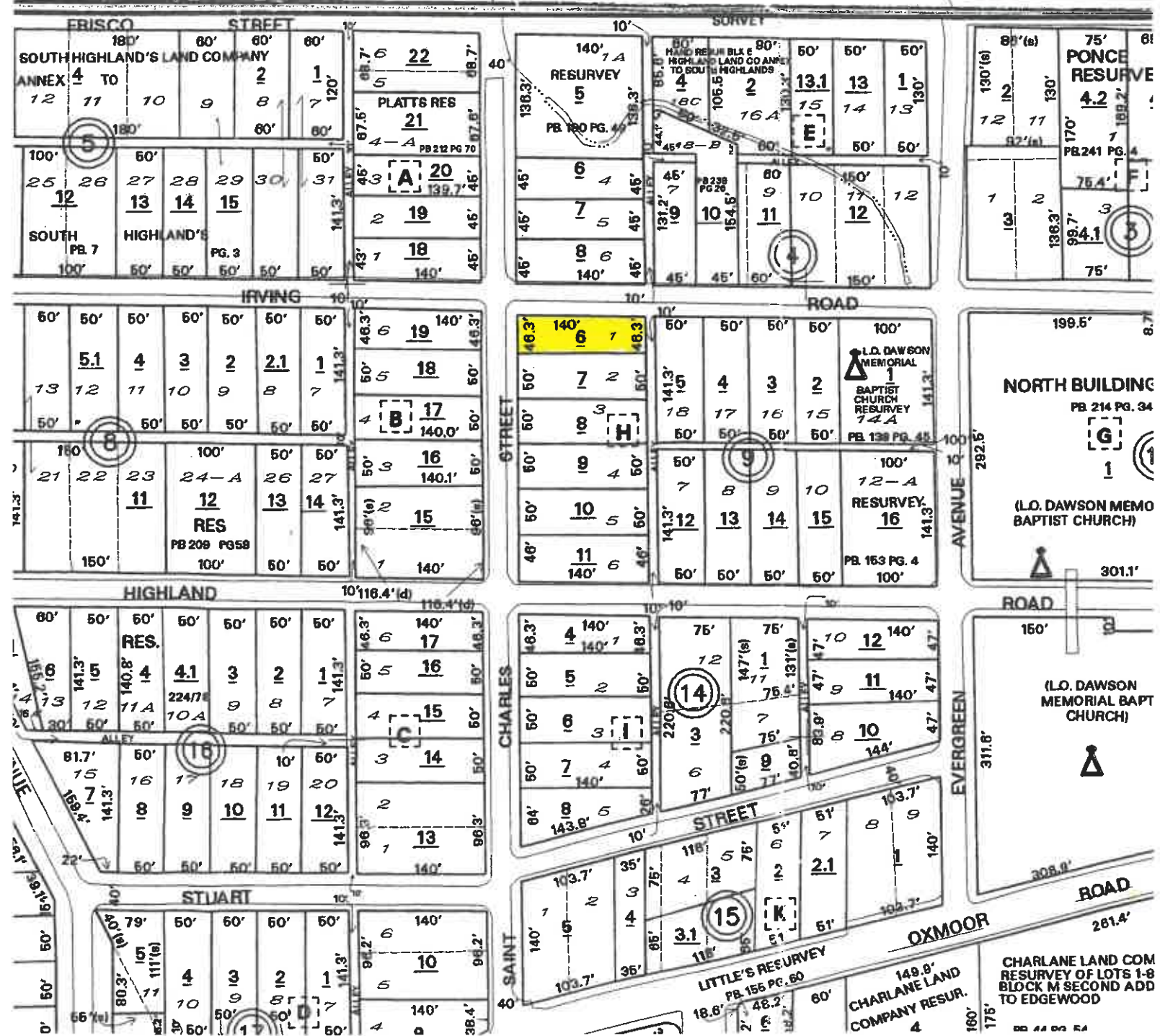
Comments in support or opposition may also be submitted via email to the Board Secretary @ fred.goodwin@homewoodal.org. Comments should be submitted no later than 24-hours prior to the meeting and will be provided Board Members for their consideration. Please reference the case number or the address of the subject property in your comments.

A copy of the meeting agenda packet, which includes the file for this case, will be available for viewing and downloading the Friday before the scheduled public hearing. You may access the agenda packet on the home page of the city's website @ www.cityofhomewood.com by clicking on the "Upcoming Meetings/BZA" tab.

For further information or to review any files or drawings pertaining to this application you may contact our office at (205) 332-6800 or visit between 7:30 a.m. and 4:30 p.m. Monday-Friday.

Parcel # 29-00-13-2-009-006.000

COUNTY BOARD

**HOMewood
MIDDLE
SCHOOL**

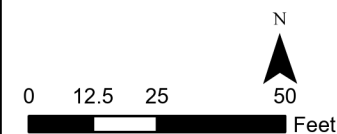
City of Homewood BZA Case Map

311 St Charles St

SV 23-06-01

Aerial Photo

 Subject Property
 Parcels



THE INFORMATION ON THIS DRAWING WAS COMPILED FROM SEVERAL SOURCES AND SHOULD ONLY BE USED FOR GENERAL INFORMATION AND ORIENTATION. THIS DRAWING IS THE PROPERTY OF THE CITY OF HOMEWOOD AND ITS USE BY ANYONE FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY AUTHORIZED BY THE CITY OF HOMEWOOD IS PROHIBITED.

ZONING IS SUBJECT TO CHANGE. PLEASE CALL ZONING OFFICE TO CONFIRM ZONING. 332-6828

COMPLETE AND SUBMIT
PRIOR TO THE DEADLINE DATE

City of Homewood
Board of Zoning Adjustments
Request for Variance



VARIANCE



APPEAL

ADDRESS OF PROPERTY: 130 Stratford Circle

BZA CASE # (assigned by city staff): **SV-23-06-02**

APPLICANT INFORMATION

Name of Applicant(s): Colt Byrom / Byrom Building Corporation

Address of Applicant(s): 2526 Valleydale Road #100

Hoover	AL	35244
City	State	Zip

Telephone Number(s) of Applicant(s): (205) 243-9079

Email: coltbyrom@gmail.com

Property Interest of Applicant(s): Contractor

(i.e., owner, contract purchaser, agent, architect, contractor, developer, etc)

OWNER INFORMATION – If different from Applicant

Name of Owner(s): Charles Randall Minor and Chinelo Dike-Minor

Address of Owner(s) (**ONLY** if address is different from property address) otherwise put same:

223 Devon Drive, Homewood	AL	35209
City	State	Zip

Email: randall.minor@gmail.com

Telephone Number(s) of Owner(s): (205) 249-9531

DESCRIPTION, USE AND ZONING OF PROPERTY (Parcel ID & present zoning can be filled out at time of application submittal)

PARCEL IDENTIFICATION NUMBER: 28-00-18-1-002-043.000

PRESENT USE: _____ vacant _____ residence

_____ commercial (describe): _____

X _____ other (describe): new residential construction per prior BZA Case #SV-23-11-03

PRESENT ZONING (City Zoning Map): Neighborhood Preservation District

COMPLETE AND SUBMIT
PRIOR TO THE DEADLINE DATE

City of Homewood
Board of Zoning Adjustments
Request for Variance

INDICATE THE FOLLOWING

The following information can be completed when applying but applicant must provide a survey to verify:

	*Required by Zoning Regulations	Setback dimensions as they NOW exist	Setback dimensions AFTER construction	FINAL Setback Variance Requested
Front Bldg. Setback:				
Front Bldg. Setback: (secondary - corner lot)				
Right Bldg. Setback				
Left Bldg. Setback				
Rear Bldg. Setback				
Accessory Structure Height / Setbacks	/	/	/	/
	As Required	Existing NOW	Proposed	Variance Required
Parking				
Height of Structure				

*Required setback information is available in the Zoning Ordinance which is available on the City of Homewood website. If you need to find out how your property is zoned, please contact the zoning department by calling 332-6828 or 332-6854 or by clicking on the following link to email: [Zoning Information](#).

INDICATE THE FOLLOWING

The following information can be completed when applying but applicant must provide a survey to verify:

Proposed Location of Fence (check all that apply):

☐ Front Yard ☐ Side Yard (left) ☐ Side Yard (right) ☐ Rear Yard

Description of Proposed Fence (please include dimensions, materials, etc. of the proposed fence):

COMPLETE AND SUBMIT
PRIOR TO THE DEADLINE DATE

City of Homewood
Board of Zoning Adjustments
Request for Variance

PURPOSE OF VARIANCE

A variance is requested on the property described below in conformity with the powers vested in the Board to permit:

- ☐ the construction of an addition to a residence,
 - ☐ the construction of residence,
 - ☐ the construction of an addition to a commercial structure,
 - ☐ the construction of a commercial structure,
 - ☐ the construction of a fence
 - ☒ other (describe):
-

The owners would like to install an in-ground basketball goal and one or more paved surfaces that could be used as playing surface for basketball or other activities, including, but not limited to, use as a patio, as generally depicted in the accompanying landscape drawings and subject to the 50% lot coverage requirements in Neighborhood Preservation Districts.

Accordingly, the owners seeks two variances as follows:

(1) a variance to allow one or more accessory structures, other than a detached garage or carport, to be placed in a side yard contrary to Article V, District Development Criteria, Sec. D. Accessory structures; and

(2) a variance to allow one or more un-roofed habitable structures, which does not extend more than five (5) feet above grade, to be placed zero (0) feet from a side lot line, contrary to Article V, District Development Criteria, Sec. B. General setback modifications.

City of Homewood
Board of Zoning Adjustments
Request for Variance

PLEASE STATE HARDSHIP – for guidance, see “What is a Variance” on page 1 of instructions page:

The owner’s hardship is based on the following: (i) wedge shape and topography of the lot, resulting in a relatively shallow building area, and (ii) stormwater ordinance compliance.

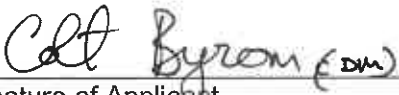
The owner initially considered locating an engineer-designed stormwater detention system in the rear yard, adjacent to the retaining wall installed during construction. However, locating the detention system had the potential to compromise the integrity of the retaining wall over time and reduced options for screening in the rear of the yard.

After consulting with the project engineer, the owner plans to install the stormwater detention system in the side yard, which has the added benefit of providing easier access for any future maintenance.

Because of the expense associated with clearing, grading and other earth work required for the stormwater detention system, the owners have decided to locate a previously planned basketball court in the side yard, above of the detention system. All surfaces will be designed to route water from the court / patio into the detention system below.

The undersigned hereby grants permission for a sign, advertising the BZA hearing date, time and place to be posted on my property. I (we) attach \$100.00 application fee and promise to pay any additional costs billed separately for extra items related to this variance request.

I (we) certify that all of the above statements and the statements contained in any paper of plans submitted herewith are true to the best of my (our) knowledge and belief.



Signature of Applicant

5/15/23

Date



Signature of Owner

5/15/23

Date



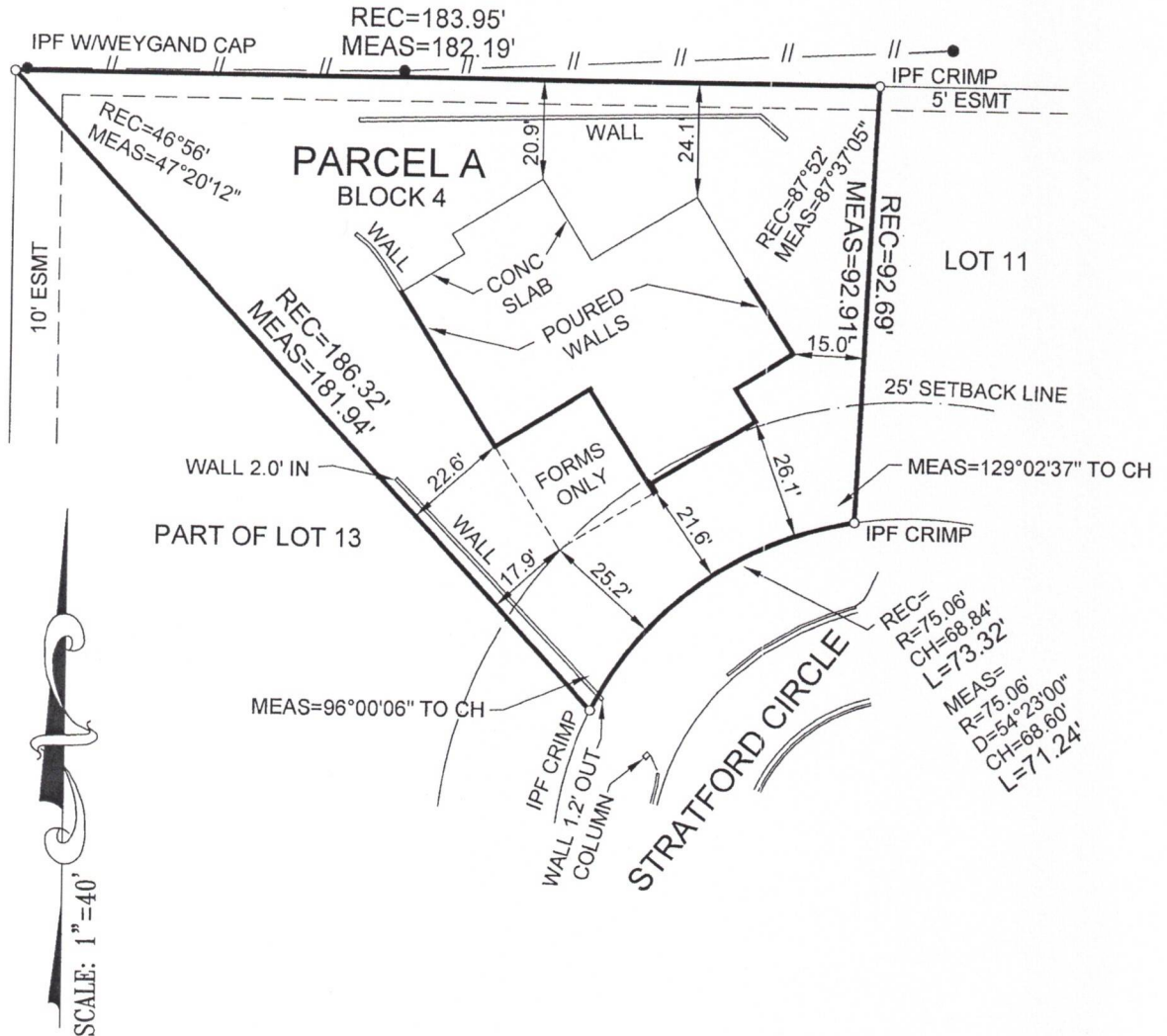
Signature of Owner

5/15/23

Date

LEGEND:

ASPH = asphalt
 BRG = bearing
 BLDG = building
 CALC = calculated
 CAP = capped iron
 CL = centerline
 CH = chord
 CONC = concrete
 C = covered
 d = deflection
 D = curve delta angle
 E = east
 ESMT = easement
 FC = fence
 FD = found
 HW = headwall
 IPF = iron pin found
 IPF* = iron pin found w/KBV cap
 IPS = iron pin set w/SSI cap
 L = length
 MEAS = measured
 MIN = minimum
 MH = manhole
 N = north
 OH = overhang
 P = porch
 PC = point of curve
 POB = point of beginning
 POC = point of commencement
 PT = point of tangent
 PVMT = pavement
 R = radius
 REC = recorded
 RES = residence
 ROW = right of way
 S = south
 SAN = sanitary
 STM = storm
 SWR = sewer
 SYN = synthetic
 UTIL = utility
 U = uncovered
 W = west
 YI = yard inlet
 ° = degrees
 ' = minutes, in
 " = bearings or angles
 ' = seconds, in
 ' = bearings or angles
 ' = feet, in distance
 AC = acres
 ± = more or less,
 or plus or minus



STATE OF ALABAMA
 SHELBY COUNTY

I, Carl Daniel Moore, a registered Land Surveyor, certify that I have surveyed Parcel A, Block 14, A RESURVEY OF LOT 12 AND PART OF LOT 13, BLOCK 4, FOURTH ADDITION TO HOLLYWOOD as recorded in Map Book 37, Page 39 in the Office of the Judge of Probate, Jefferson County, Alabama; that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief; that the correct address is as follows: 130 Stratford Circle according to my survey of September 28, 2022. Survey is not valid unless it is sealed with embossed seal or stamped in red.

SURVEYING SOLUTIONS, INC.
 2232 CAHABA VALLEY DRIVE SUITE M
 BIRMINGHAM, AL 35242
 PHONE: 205-991-8965

Carl Daniel Moore

Carl Daniel Moore, Reg. L.S. #12159

9-29-2022

Date of Signature



Order No. 260370
 Purchaser: Byrom
 Type of Survey: Foundation

12.14.24
REVISIONS TO THE LANDSCAPE PLAN

PERENNIAL PLANT LIST

STELLA DE DEO DAISY
PERENNIAL SALVIA
BECKY SHASTA DAISY
RUDBECKIA
PURPLE CONE FLOWER
VERBENA
GERBER DAISY

EXISTING PLANTS/DNR

4 | LITTLE LIME HYDRANGEA
36" 5'0"

LEVEL WHERE GRADE BEST ALLOWS
TOP LEDGE STONE BOTTOM SIDE

4 | TEA OLIVE
36"

39 | MIXED PERENNIALS
SEE LIST

6 | JAPANESE PODOCARPUS
VEU 76" 4'0"

11 | TUSSELTOWN GARDENIA
36" 3'5"

15 | CRIST IRON PLANT
16" 2'0"

FLAGSTONE PATIO
WITH DWARF MONDO GRASS

FLAGSTONE STEPPING STONES
IN MULCH OR INDIAN CREEK JACK
PER SITE

11 | TEA OLIVE
76"

5 | JAPANESE PODOCARPUS
76" 4'0"

4 | CREEPING FIG
16"

12 | ANNABELLE HYDRANGEA
36" 5'0"

10 | GARDEN SPIKE GARDENIA
36"

1 | JAPANESE MAPLE
BY OWNER

9 | CAROL DRIFT ROSE
36" 3'0"

3 | CHEER LEAF CULINARY
ROSEMARY 16" 2'5"

2 | OUTDOOR MAGIC CAMELLIA
"INSPIRATION"

1 | SWEET MAPLE
(2-2 1/2" CAL.)

NOTE TO HOMEOWNER

THIS IS A COMPLETE DESIGN. DUE TO
BUDGET ALLOWANCE, NOT ALL PLANT
MATERIAL WILL BE INSTALLED DURING THE
INITIAL CONTRACTOR PHASE.

125' FENCE ALONG UPPER WALL

2 | CLAUDIA VERNANA
MAGNOLIA 10-12' HT (EACH SIDE)

5 | HETZ WINTERGREEN ARBORVITAE
10' HT

7 | PURPLE DREAM LOROPETALUM
36" 5'0"

6 | AUGUST BEAUTY GARDENIA
36" 5'0"

9 | WHEELERS DWIF PITTOSPORUM
36" 4'0"

URN OR CONTAINER IN
CENTER OF WALK AS FOCAL

2 | EMERALD ARBORVITAE
4-5' HT

3 | STANDARD SWEET BAY
MAGNOLIA 8-10' HT

2 | BODDIE JUNIPER

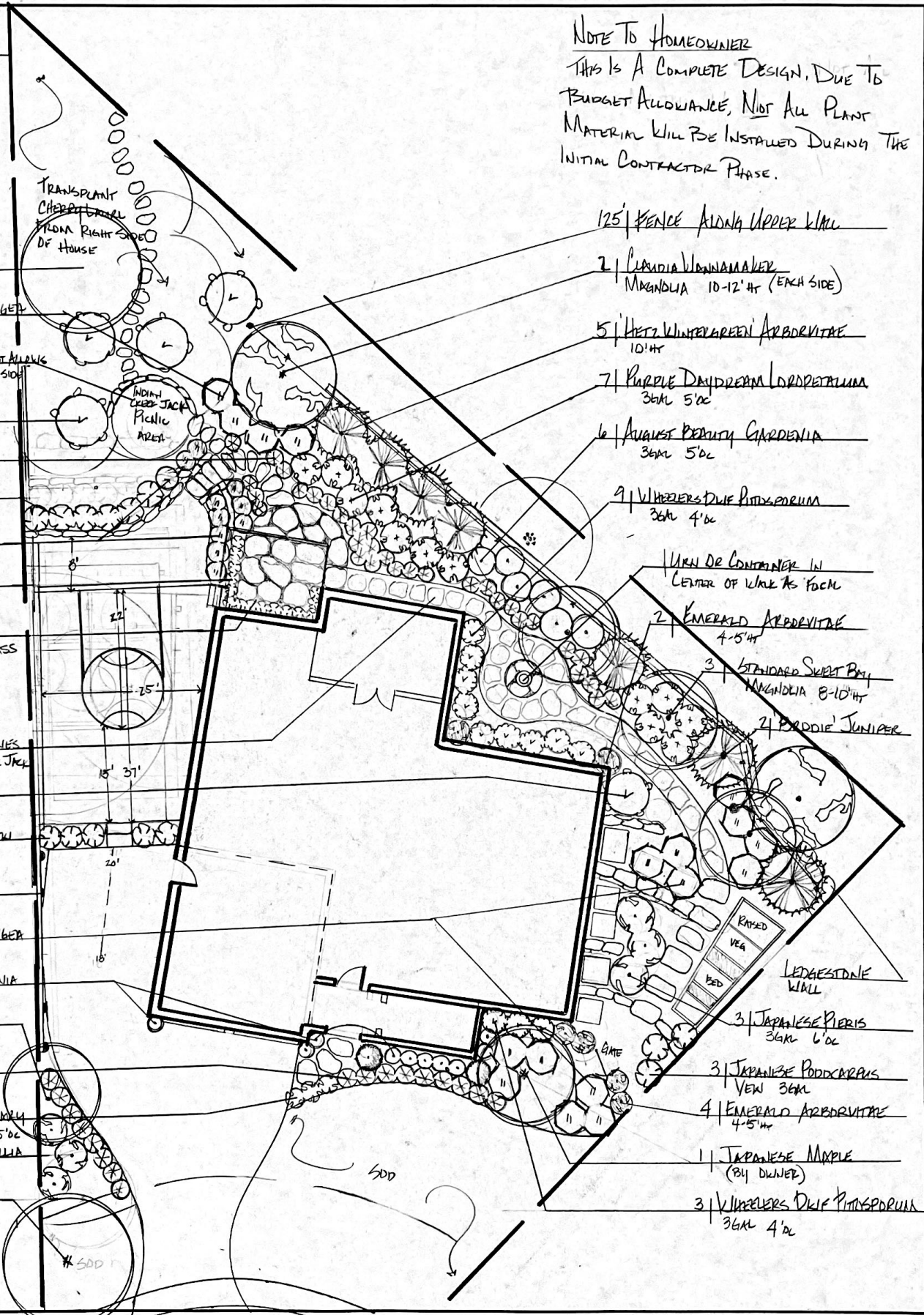
3 | JAPANESE PIERIS
36" 6'0"

3 | JAPANESE PODOCARPUS
VEU 36"

4 | EMERALD ARBORVITAE
4-5' HT

1 | JAPANESE MAPLE
(BY OWNER)

3 | WHEELERS DWIF PITTOSPORUM
36" 4'0"



-MINOR RESIDENCE-

OF	SHEET	JOB	DRAWN	SCALE	DATE
1	1	2024012-1	SHA	1"=10'-0"	APRIL 12, 2023

(210) 359-7127

LANDSCAPES

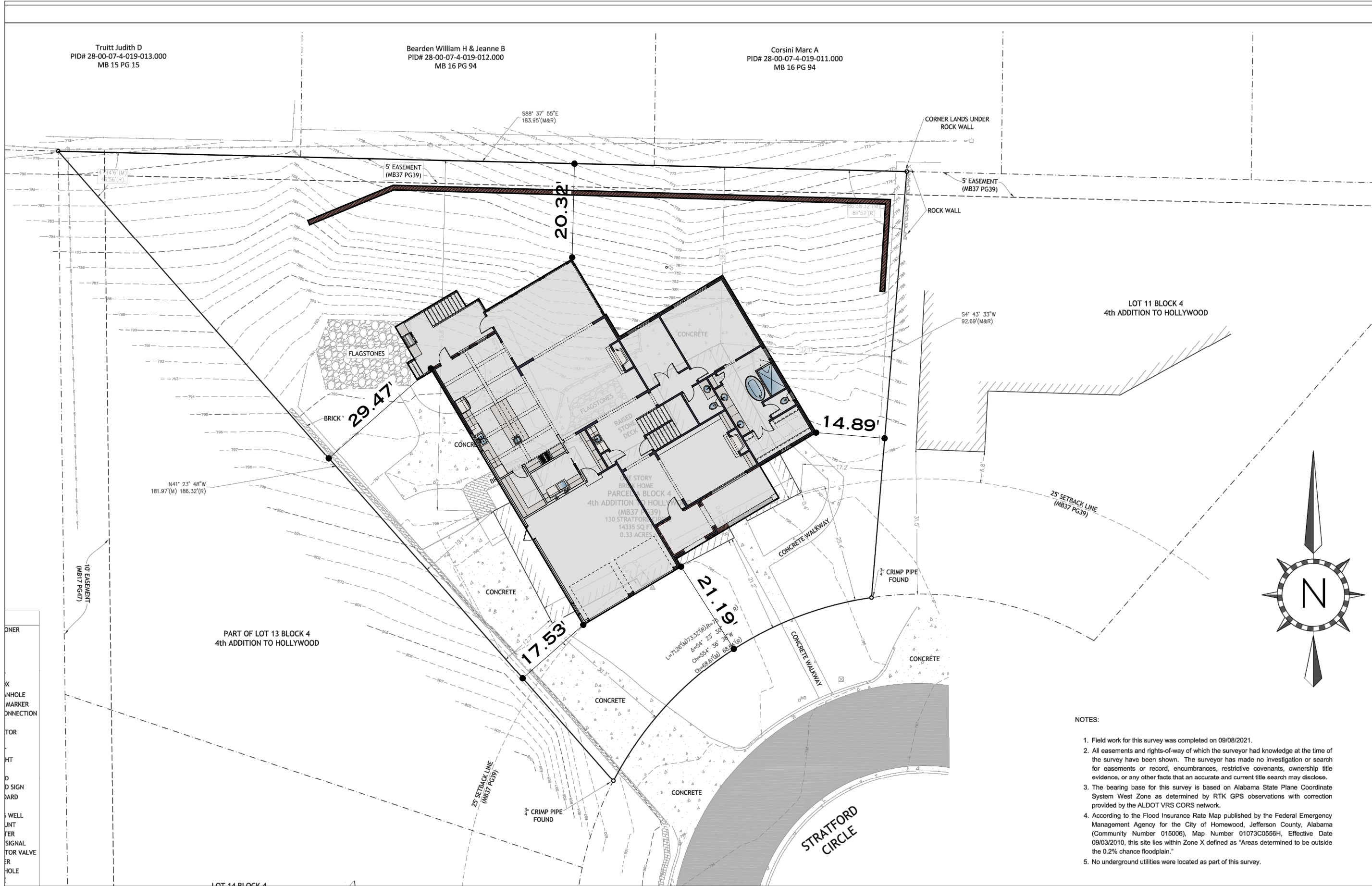
Shilly

APRIL 12, 2023

BY

REVISIONS

APRIL 12, 2023



OWNER
X
WHOLE
MARKER
CONNECTION
TOR
HT
D
D SIGN
YARD
WELL
JNT
TER
SIGNAL
TOR VALVE
ER
HOLE

1
A1

Site Plan

1" = 20'-0"

0 10'-0" 20'-0" 40'-0" 60'-0"

PLAN INFORMATION

PROJECT NAME:
CUSTOM DESIGN

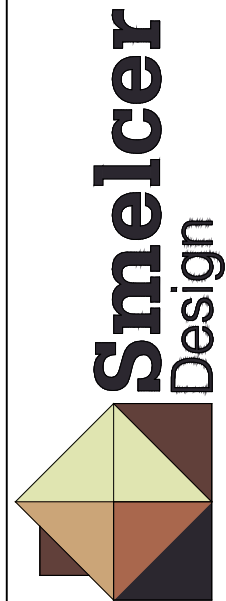
COMMUNITY:
HOMEWOOD, AL

LOT NUMBER:
130 STRATFORD
CIRCLE

CLIENT NAME:
RANDALL MINOR

PDF CREATION DATE:
6/30/22 - 9:09AM

SMELCER DESIGN
DJSMLCER@YAHOO.COM
DANNYSMLCER@GMAIL.COM
DAVID: 205.229.3835
DANNY: 205.296.1215



SHEET INDEX

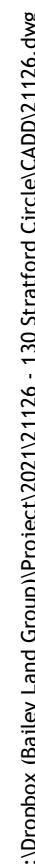
#	NAME
A0	TITLE SHEET
A1	SITE PLAN
A2.1	FOUNDATION PLAN
A2.2	1ST FLOOR PLAN
A2.3	2ND FLOOR PLAN
A2.4	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	EXTERIOR ELEVATIONS
A4.1	DETAIL SHEET
E1.1	ELECTRICAL SHEET
TOTAL SHEETS: 12	

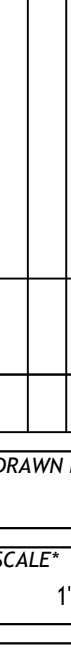
SHEET INFORMATION

A1.1
Site Plan

NOTES:

- Field work for this survey was completed on 09/08/2021.
- All easements and rights-of-way of which the surveyor had knowledge at the time of the survey have been shown. The surveyor has made no investigation or search for easements or record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- The bearing base for this survey is based on Alabama State Plane Coordinate System West Zone as determined by RTK GPS observations with correction provided by the ALDOT VRS CORS network.
- According to the Flood Insurance Rate Map published by the Federal Emergency Management Agency for the City of Homewood, Jefferson County, Alabama (Community Number 015006), Map Number 01073C0556H, Effective Date 09/03/2010, this site lies within Zone X defined as "Areas determined to be outside the 0.2% chance floodplain."
- No underground utilities were located as part of this survey.



		BAILEY LAND GROUP LAND SURVEYING & ENGINEERING		4121 Smokey Road Alabaster, AL 35007 P: 205.978.0080 F: 205.624.3334 www.baileylandgroup.com C&AL-899LS	
PLAN NOT VALID WITHOUT SEAL & SIGNATURE		BLG PROJECT NO. 21.126		CLIENT/ARCHITECT PROJECT NO.	
SHEET NO.		1 of 1			



CITY OF HOMEWOOD
ENGINEERING & ZONING DEPARTMENT

2850 - 19th Street South - 4th Floor
Homewood, Alabama 35209
Phone 205-332-6800 | Fax 205-332-6955

Patrick McClusky, Mayor

Cale Smith, PE, Director

May 25, 2023

Charles Randall Minor and Chinelo Dike-Minor
223 Devon Drive
Homewood, Alabama 35209

Re: *130 Stratford Circle, Homewood, Alabama 35209*

Dear Property Owner:

This letter shall serve as a public hearing notice to the parties in interest and to all adjacent property owners. The Homewood Board of Zoning Adjustments has been petitioned to modify the zoning regulations, as they apply to the above referenced property, as follows:

Case # SV-23-06-02, 130 Stratford Circle, Parcel ID No. 28 00 18 1 002 043.000
Applicant: Colt Byrom, Byrom Building Corporation/ Property Owners: Charles Randall Minor and Chinelo Dike-Minor

- a) A request for variance to Article V, District Development Criteria, Sec. d. Accessory Structures to allow an accessory structure, other than a detached garage or carport, to be placed in the side yard to create a paved surface.*
- b) A request for a variance to Article V, District Development Criteria, sec. b., general setback modifications to allow an un-roofed habitable structure which does not extend more than five (5) feet above grade to be placed zero (0) feet from the left side lot line.*

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Sincerely,



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cc: Applicant
Adjacent property owners

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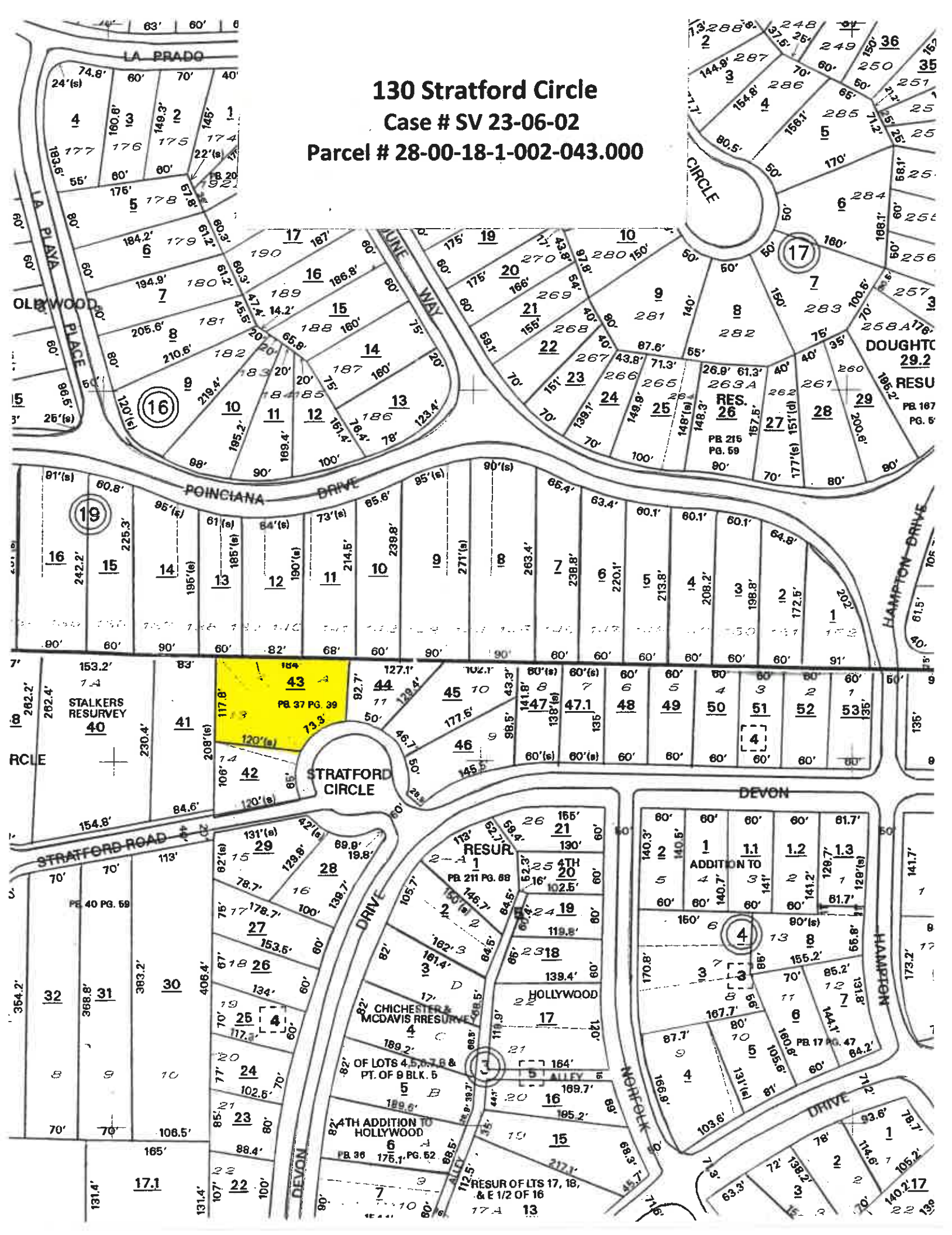
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For further information or to review any files or drawings pertaining to this application you may contact our office at (205) 332-6800 or visit between 7:30 a.m. and 4:30 p.m. Monday-Friday.

130 Stratford Circle
Case # SV 23-06-02
Parcel # 28-00-18-1-002-043.000



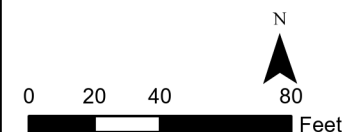
City of Homewood BZA Case Map

130 Stratford Cir

SV 23-06-02

Aerial Photo

 Subject Property
 Parcels



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